

PB# 93-3

Hudson Valley Drilling, Inc.

67-4-16

P.B. #93-3

Hudson Valley Drilling, Inc.

Rt. 94 (Luomo)

Approved

5/17/93

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

13104

Received of Hudson Valley Drilling Inc. January 22 1993 \$ 150.00

One Hundred Fifty and 00/100 DOLLARS

For Planning Board Application Fee #93-3

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CB #2614</u>		<u>\$150.00</u>

By Pauline H. Townsend

Town Clerk

Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

13105

Received of Pauline H. Townsend, T. Clerk January 22 1993 \$ 750.00

Seven Hundred Fifty and 00/100 DOLLARS

For Planning Board Escrow #93-3 Hudson Valley Drilling Inc.

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CB #2615</u>		<u>\$750.00</u>

By Jusan Zappes

Deputy Comptroller

Title

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TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

13333

Received of Hudson Valley Drilling Inc. May 17 1993 \$ 150.00

One Hundred Fifty and 00/100 DOLLARS

For Planning Board Approval Fee #93-3

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CB #2721</u>		<u>\$150.00</u>

By Pauline H. Townsend

Town Clerk

Title

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DISTRIBUTION:

FUND	CODE	AMOUNT
CP# 2614		\$150.00

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By Pauline J. Townsend
Town Clerk
 Title

TOWN OF NEW WINDSOR

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FUND	CODE	AMOUNT
CP# 2615		\$750.00

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By Jusan Zappala
Deputy Controller
 Title

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DISTRIBUTION:

FUND	CODE	AMOUNT
CP# 2721		\$150.00

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By Pauline J. Townsend
Town Clerk
 Title

Cmg

RESULTS OF P.B. MEETING

DATE: December 23, 1992

PROJECT NAME: Mike Frey

PROJECT NUMBER 93- 3

LEAD AGENCY: _____

NEGATIVE DEC: _____

PUBLIC HEARING: _____

DISCUSSION:

Trailer to be removed -
do not have problem w/ parking vehicles & equipment on
property - Any additional buildings will have to come
back to P.B. -

Use A-10 - agreed by Board

SEND TO ORANGE CO. PLANNING: _____

DISAPPROVED AND REFERRED TO Z.B.A.: YES _____ NO _____

RETURN TO WORK SHOP: YES _____ NO _____

APPROVED _____ APPROVED CONDITIONALLY _____

NEED NEW PLANS: YES _____ NO _____

REASON FOR NEW PLANS OR CONDITIONS OF APPROVAL: _____

Worst trailer out when trucks are moved in.
30 - 60 days after closing on property
Need formal application

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/17/93

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 93-3

NAME: HUDSON VALLEY DRILLING, INC.

APPLICANT: FREY, MICHAEL

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
05/17/93	PLANS SIGNED	APPROVED
03/10/93	P.B. APPEARANCE (PUB. HEARING) . APPROVED SUB TO NOTE ON PLAN RE: BLACKTOP LOCATION	ND:APPROVED SUB TO
01/27/93	P.B. APPEARANCE . SEND REVISED PLAN TO O.C. PLANNING	LA/NEED P.H.
01/20/93	WORK SESSION APPEARANCE	SUBMIT APPLICATION
01/06/93	WORK SESSION APPEARANCE	TO RETURN
12/23/92	P.B. APPEARANCE (DISCUSSION)	TO RETURN

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/17/93

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 93-3

NAME: HUDSON VALLEY DRILLING, INC.
APPLICANT: FREY, MICHAEL

--DATE--	DESCRIPTION-----	TRANS	AMT-CHG	AMT-PAID	BAL-DUE
01/21/93	S.P. MINIMUM	PAID		750.00	
01/27/93	P.B. ATTY. FEE	CHG	35.00		
01/27/93	P.B. MINUTES	CHG	58.50		
03/10/93	P.B. ATTY FEE	CHG	35.00		
05/11/93	P.B. ENGINEER FEE	CHG	123.00		
03/10/93	P.B. MINUTES	CHG	54.00		
05/17/93	RET. TO APPLICANT	CHG	444.50		
	TOTAL:		750.00	750.00	0.00

Please issue a check in the amount
of \$444.50 to:

Hudson Valley Drilling, Inc.
2213 Rt 94
Salisbury Mills, N.Y. 12577-5207

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/08/93

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 93-3

NAME: HUDSON VALLEY DRILLING, INC.

APPLICANT: FREY, MICHAEL

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	01/21/93	MUNICIPAL HIGHWAY	02/26/93	APPROVED
ORIG	01/21/93	MUNICIPAL WATER	01/27/93	APPROVED
ORIG	01/21/93	MUNICIPAL SEWER	02/15/93	SUPERSEDED BY REV1
ORIG	01/21/93	MUNICIPAL SANITARY	02/15/93	SUPERSEDED BY REV1
ORIG	01/21/93	MUNICIPAL FIRE . SEE REVIEW SHEET IN FILE	01/22/93	DISAPPROVED
ORIG	01/21/93	PLANNING BOARD ENGINEER	02/15/93	SUPERSEDED BY REV1
ORIG	01/22/93	N.Y.S. DEPT. TRANSPORTATION . SEE REVIEW SHEET IN FILE FOR DETAILS OF	01/29/93	APPROVED APPROVAL
REV1	02/15/93	O.C. PLANNING	02/10/93	SUPERSEDED BY REV1 Local Determination
REV1	/ /		02/15/93	SUPERSEDED BY REV1
REV1	02/15/93	MUNICIPAL HIGHWAY	/ /	
REV1	02/15/93	MUNICIPAL WATER	/ /	
REV1	02/15/93	MUNICIPAL SEWER	/ /	
REV1	02/15/93	MUNICIPAL SANITARY	/ /	
REV1	02/15/93	MUNICIPAL FIRE	3/10/93	Approved
REV1	02/15/93	PLANNING BOARD ENGINEER	/ /	

"Public Hearing"
RESULTS OF P.B. MEETING

DATE: March 10, 1993

PROJECT NAME: Hud. Valley Well Drilling

PROJECT NUMBER 93-3

LEAD AGENCY: _____

NEGATIVE DEC: 3-10-93

PUBLIC HEARING: Closed 3/10/93

DISCUSSION: (M) V } all eyes
(S) L }

Add note re: where blacktop is to go in phase II

SEND TO ORANGE CO. PLANNING: _____

DISAPPROVED AND REFERRED TO Z.B.A.: YES _____ NO _____

RETURN TO WORK SHOP: YES _____ NO _____

APPROVED _____ APPROVED CONDITIONALLY (M) V all eyes
(S) S 3-10-93

NEED NEW PLANS: YES _____ NO _____

REASON FOR NEW PLANS OR CONDITIONS OF APPROVAL: _____

Note - Phase II blacktop

PUBLIC HEARING:

HUDSON VALLEY WELL DRILLING SITE PLAN (93-3 ROUTE 94

Paul Cuomo, P.E. and Michael Frey appeared before the board on this proposal.

MR. PETRO: Before we proceed, this is a public hearing, it is not open to the public at this time. We'll discuss it between the board members first and then it will be open to the public. Also for the board's information, we've received word from Orange County Planning that is local determination.

MR. CUOMO: Yes, this is a site down along Route 94, it's an existing lot, flag lot that is off as I said before, Route 94. It's for a facility, a service establishment, the name of which is Hudson Valley Drilling Incorporated. They do well drilling. It's a 2 phase project. First phase will be the new road going in and area for the drilling rig, materials, pipes. There's an existing garage that they'll use for shelter and they plan to pave the road back 50 feet. Second phase consists of a building to be built 15 feet back from the line, the idea of putting the building back there is to give the vehicles that these people use are quite large and give them turning radius to get out so there's no backing out on Route 94. This is a State requirement that we don't allow that. Another State requirement was that they wanted the parking lot centered, I mean not the parking lot, the entrance centered on the lot, the road and which we did and that would be in Phase Two where we would pave in front of the building that would be also part of Phase Two.

MR. PETRO: We have additional comments from the DOT that project was reviewed, suggested changes in phase development of the property could be problems moving trucks around the yard. Mark, I see in the comment number one that the building was shifted. Is that after this comment was made after New York State DOT?

MR. EDSALL: Yeah, in speaking with Don Green, it was my understanding he wanted to provide additional maneuvering room, that is why he moved the building

back.

MR. PETRO: I have seen their comments from DOT.

MR. CUOMO: Yes, Don came over to the office with them and he made some suggestions.

MR. PETRO: The 1,500 gallon fuel tank should be reviewed by the fire inspector. I have a comment dated March 10 that it was approved today so I assume he looked at this set of plans and does not have a problem with the location of the tank. Any of the members have a problem with it, want to discuss it that is item number 3?

MR. VAN LEEUWEN: No, no, I have no problem with it as long as he gets rid of that mobile home, I don't care what he does. Not that I don't care what he does, don't get me wrong but I'm pretty much satisfied.

MR. PETRO: One other thing to go over we have talked a lot last time about the shale and about blacktopping, do any of the members have any comment I think he's addressed it to what we had asked him to do?

MR. LANDER: When is Phase Two, when do you have plans to implement Phase Two, Mike, when do you think Phase Two is going to happen?

MR. FREY: I would say the expenses are pretty exorbitant already.

MR. LANDER: My comment at the last time this applicant was in was to pave to the gates anyway because we don't have a timeframe for the second phase, all right. Beyond that, I don't care what happens but at least to where the gates are, that is my feeling as one board member.

MR. VAN LEEUWEN: I think we should state a time limit, four years, two years, three years, five years.

MR. PETRO: Who is going to enforce that?

MR. VAN LEEUWEN: Very true, that is tough. Any time

when you get these phased my past experience has been that the second phase is everything completed what we asked for the most expensive stuff is always left out.

MR. PETRO: Paul, what did we discuss about the handicapped parking, if it is blacktopped how are we going to define and keep it defined?

MR. CUOMO: That will be blacktopped, I neglected, I didn't explain that correctly, in other words, this area will be blacktopped even though the building is not there.

MR. PETRO: So you have it stopping here in the front?

MR. CUOMO: I have it stopping at 50 feet.

MR. PETRO: Just make the note to show blacktopped handicapped parking in the area.

MR. EDSALL: He has a note that indicates that the apron will be asphalt concrete so it is on there.

MR. LANDER: It also has it here on the plan that it is going to be done during the building construction.

MR. EDSALL: You don't have a building, you don't need the handicapped parking space.

MR. PETRO: That building is going to be part of Phase Two is what you're telling us?

MR. FREY: Yes, the building is part of Phase Two so handicapped parking is Phase Two.

MR. LANDER: You're just going to run this out of another building somewhere else the business itself?

MR. CUOMO: No, he has a garage here.

MR. LANDER: We need a handicapped parking spot by that building, right?

MR. PETRO: Until that building is built in the back in Phase Two.

MR. LANDER: You need one handicapped spot somewhere wherever you put it.

MR. EDSALL: Is that garage going to be for office or storage use?

MR. FREY: Just general storage.

MR. EDSALL: It's not an office?

MR. FREY: No, it's not an office.

MR. LANDER: That was my question when or not you were going to run the office out of this location.

MR. CUOMO: I didn't answer it right.

MR. FREY: There's no office at this location, maybe at some point in the future.

MR. PETRO: It's not a public thoroughfare?

MR. FREY: It's not a public thoroughfare.

MR. CUOMO: This is a storage area so you wouldn't need any handicapped.

MR. LANDER: That answered my question.

MR. PETRO: I'd like to get it in the minutes for the Planning Board if the time comes where this does become public or if he's running an office out of the area and Phase Two is not completed, the building department should have the right to enforce at that time any regulations as if it was going to be a public run operation. In other words, you can say you're not doing that, three months from now, go in there put your office there, start working and you have Planning Board approval.

MR. FREY: That is fine.

MR. PETRO: So you have that in the minutes obviously. I don't have anymore questions at this

time. Any further comments from any of the board members? I'd like to open it up to the public, we hve a notice that 9 addressed envelopes containing attached notice of public hearing was delivered on February 23,1993 and certified notary public 23rd of February, 1993.

MR. LANDER: We don't get a return receipt, do we?

MR. PETRO: No, we do have it certified that it did go out. Anybody here on behalf of this application?

TONY TRACILLIO: We own the property to the west of it, First Venture of New Windsor and Jack Grazziano, my partner, we're sorry we didn't get here earlier enough. We wanted to review the plan before. We were just concerned how it's buffering our property, what restrictions you have put on it because we have our Plan approved by you folks a couple years back and we have to go through many restrictions with plantings and fencing to keep the property within a certain look from the highway so I'm just wondering what the concern is?

MR. PETRO: You'd have to realize that the plan would not be approved unless it met all legal setbacks, obviously the front yard, back yard and side yards. As far as landscaping detail, if you want to come up quickly and look, feel free.

MR. CUOMO: We have trees along here and then we're going to have a stockade fence all around the property.

MR. TRACILLIO: What is the height of the fence?

MR. CUOMO: We're talking eight feet, in other words, the fence will start at the end of the trees and then it will go around, come back and end here.

MR. TRACILLIO: Will that go up initially?

MR. CUOMO: Yes, that is the initial phase, right, Mike that has to be?

MR. FREY: Yes.

MR. CUOMO: Initial phase is the fence?

MR. FREY: That is right.

MR. TRACILLIO: We were just concerned about the aesthetics, we had to conform and we were hoping.

MR. PETRO: Plantings in the front you're going to do this as you do the curb cut shrubbery and the plantings in the front of the property in the initial 50 feet.

MR. FREY: Yes, that is all in the initial phase.

MR. TRACILLIO: Aesthetically as long as it conforms with what we had to do, we have no problem. It sounds good. Thank you.

MR. PETRO: Anyone else here in the audience that is here to speak on behalf of this application? If not.

MR. VAN LEEUWEN: I entertain motion to close.

MR. LANDER: Second it.

MR. PETRO: Motion has been made to close the public hearing on the Hudson Valley Drilling Site Plan.

ROLL CALL

MR. LANDER	AYE
MR. DUBALDI	AYE
MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. PETRO	AYE

MR. SCHIEFER: Going back to what Ron said, could we have the paved area up to the gates or just the first 50 feet? I don't know if it is necessary but it sure would be nice to have it paved into there. He's got to do it eventually, got to put down 50 feet.

MR. VAN LEEUWEN: I'd like to see that done too.

MR. SCHIEFER: Is there any objection to that?

MR. FREY: We're measuring it up, we want to know how much distance you're talking about.

MR. SCHIEFER: You have 50 feet, I'm assuming 100 feet.

MR. CUOMO: Total would be 120 total.

MR. SCHIEFER: Another 70 feet then. Do you have any objection to that?

MR. FREY: Is there someone here to give me an estimate on this?

MR. VAN LEEUWEN: Up to the gate.

MR. SCHIEFER: Without actually looking at it probably twice what you have now.

MR. BABCOCK: According to this plan, this area from there all the way up to the building was not going to have to have been paved. It was going to be shaled surface just the 4 parking spaces and the apron will be paved and the first 50 feet.

MR. VAN LEEUWEN: Eventually it's got to be paved to the building.

MR. BABCOCK: I'm telling you what the plan says.

MR. SCHIEFER: In Phase Two I have no question it has to be paved in my mind.

MR. VAN LEEUWEN: Absolutely, that is what we discussed before.

MR. SCHIEFER: That is the reason I'm asking the question, why not now. You're going to have to do it.

MR. PETRO: As the plan sits right now, it's not showing it's going to be paved even in Phase Two other than the apron so.

MR. VAN LEEUWEN: He discussed that before and they agreed with us that it would be paved right up to the

building.

MR. SCHIEFER: Not according to the drawing that is what's being said.

MR. FREY: We're going to do what we have to do. It's up to you to tell me what you want done. Why do you want it paved other than mud going on the road?

MR. SCHIEFER: All businesses, everything like this we have been asking for paving.

MR. VAN LEEUWEN: Normally, we ask the whole thing to be paved. We're not asking to you do that. We're trying to work with you. Which we have no problem doing normally we ask for the whole thing to be paved once the site plan is approved in this Town, it's got to be paved.

MR. PETRO: Why can't we leave it the way he has it now? Everybody knows financial conditions now. Leave the first 50 feet, when Phase Two is implemented, we want it paved and we'll have to put it on the map to where it has to be paved.

MR. SCHIEFER: If there's a financial bind, I asked why if that is the case, I go along with what you say but eventually it's got to be paved.

MR. PETRO: Wherever the public is going to be all the ingress up to the point wherever they are going to be parking into the office, I don't see any major reason for going beyond the 50 to the gate at this time, if he's going to do it within a year or two years anyway.

MR. SCHIEFER: Paul, do you have any objection to that changing the map so in Phase Two you'll pave the entire area that accessible to the public?

MR. CUOMO: I have no objection. I just want to define exactly.

MR. VAN LEEUWEN: From this point to this point.

MR. SCHIEFER: I was going to say here but you have a

March 10, 1993

11

parking space here now, your bringing it all the way back.

MR. CUOMO: Where would that line.

MR. VAN LEEUWEN: These parking places show on paper but they are not going to be used. His property is worth more money.

MR. SCHIEFER: Up to the buildings.

MR. CUOMO: Did you see that, Mike?

MR. FREY: Yeah, he wants it paved to this building. Why else do you want it paved. Is this for public use for office use? If there's no office in there does it make a difference?

MR. VAN LEEUWEN: You have to understand what people do and I'm not saying you're going to do this. What people do--

MR. FREY: This is for trucks, not people driving in.

MR. VAN LEEUWEN: People have a building sitting back here and then all of a sudden they say I'm only using half of that building so why not make two offices out of it and I'll rent the offices.

MR. PETRO: We're allowing it to be shale in Phase Two, when you do decide you do want to have public there whenever that point then it has to be blacktopped.

MR. CUOMO: I can change the drawing.

MR. SCHIEFER: You can do that. We're asking will Mike go along with that? Your part is not that difficult if he can go along with it.

MR. FREY: No, I have choice, whatever you want.

MR. SCHIEFER: We want it. It's not an ultimatum yet.

MR. PETRO: Define for me and the rest of the board members where is the point where you are going to

blacktop to the front of the building, where the apron is?

MR. VAN LEEUWEN: Right and to the other building.

MR. SCHIEFER: In front of the existing garage.

MR. CUOMO: Yeah, that defines it.

MR. PETRO: So you can add a note on the map to that effect when Phase Two is implemented that this will be blacktopped.

MR. SCHIEFER: I have no other problems with it.

MR. PETRO: If we get it that far along, we can just make that subject to.

MR. CUOMO: I can add the note.

MR. VAN LEEUWEN: I'll make a motion subject to.

MR. DUBALDI: Second it.

MR. LANDER: Mark, your comment #4, is that--

MR. EDSALL: DOT I believe you've got something back on that.

MR. PETRO: Have you got anything back from Planning?

MR. EDSALL: Yes, we have both local determination Orange County Planning and DOT. Paul has responded to their comments which was shifting the driveway to the center of the property line and also the other one was the moving the building.

MR. LANDER: And the fire inspector has seen this plan?

MR. PETRO: Response 3/10/93 which is today from Bob Rogers, I don't think there will be any other plan that he would have seen, is there?

MR. CUOMO: No, this is the only one, the one for the

March 10, 1993

13

public hearing.

MR. PETRO: If there's any other further comments.

MR. VAN LEEUWEN: I make a motion to declare negative dec.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that New Windsor Planning Board declare negative dec on Hudson Valley Drilling Site Plan. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. LANDER	AYE
MR. DUBALDI	AYE
MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. PETRO	AYE

MR. LANDER: What size shrubs do we have going up the driveway as a screen?

MR. VAN LEEUWEN: He told us hemlocks.

MR. DUBALDI: How tall are they going to be, Paul?

MR. PETRO: Can I have a motion?

MR. VAN LEEUWEN: I make motion that we approve this subject to the change on the map showing that the blacktop will go alongside existing garage to the new building and in Phase Two and then also tell us how high these hemlocks are going to be. He's got to decide that because he hasn't got that on the map.

MR. CUOMO: We'll define the height of the hemlocks.

MR. PETRO: Motion has been made.

MR. SCHIEFER: I'll second it.

MR. PETRO: Motion has been made and seconded that the

March 10, 1993

14

New Windsor Planning Board approve Hudson Valley Drilling Site Plan subject to note added to the map defining in Phase Two when it's implemented the blacktop outline.

MR. CUOMO: Will go to the existing garage.

MR. PETRO: Any further discussion? If not, roll call.

ROLL CALL

MR. LANDER	AYE
MR. DUBALDI	AYE
MR. SCHIEFER	AYE
MR. DUBALDI	AYE
MR. PETRO	AYE



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

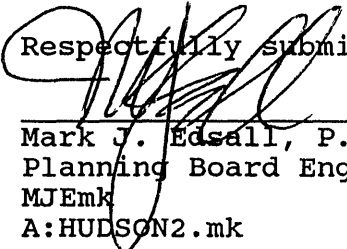
- ☐ **Main Office**
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ **Branch Office**
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: HUDSON VALLEY DRILLING SITE PLAN
PROJECT LOCATION: NYS ROUTE 94
SECTION 67-BLOCK 4-LOT 16
PROJECT NUMBER: 93-3
DATE: 10 MARCH 1993
DESCRIPTION: THE APPLICANTS HAVE SUBMITTED A PLAN FOR THE DEVELOPMENT OF AN EXISTING PARCEL ON THE NORTH SIDE OF ROUTE 94 AS A SERVICE ESTABLISHMENT. THE PLAN WAS REVIEWED AT THE 27 JANUARY 1993 PLANNING BOARD MEETING. THE APPLICANT IS BEFORE THE BOARD FOR A PUBLIC HEARING AT THIS MEETING.

1. The Board should note that the Applicant has "shifted" the proposed garage/office toward to rear by approximately 15'. This should provide additional room for maneuvering of trucks and equipment in the central area of the site.
2. The Board should review the plan with regard to the areas proposed for paving and areas proposed for compacted shale, as well as the phasing of same. The Board should determine if the proposed improvements are acceptable.
3. The location of the proposed 1,500 gallon fuel tank should be reviewed by the Fire Inspector, for compliance with appropriate standards.
4. Response comments from the New York State Department of Transportation and Orange County Planning Department should be reviewed.
5. After the Planning Board has the opportunity to hear and evaluate any comments from the public at this hearing, further engineering reviews can be made, as deemed necessary by the Planning Board.

Respectfully submitted,



Mark J. Edsall, P.E.
Planning Board Engineer
MJEmk
A:HUDSON2.mk

Erle Properties Corp.
401 S Water St.
Newburgh, NY 12550 ✓

Young, Gary A. & Sharon P.
Box 104
Vails Gate, NY 12584 ✓

First Venture of New Windsor, Inc.
3 Wayfarer Lane
Smithtown, NY 11787 ✓

Collini, Ferdinando & Angela
PO Box 116
Vails Gate, NY 12584 ✓

4 above

5 Town Officials

9 Envelopes

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on MARCH 10 1993 at 7:30 P.M. on the approval of the proposed SITE PLAN (~~Subdivision of Lands~~)* (Site Plan)* OF HUDSON VALLEY DRILLING located ON ROUTE 94 SECTION 67, BLOCK 5, LOT 16 Map of the (~~Subdivision of Lands~~)(Site Plan)* is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, N.Y. prior to the Public Hearing.

Dated: FEBRUARY 15, 1993

By Order of

TOWN OF NEW WINDSOR PLANNING BOARD

James R. Petro, Jr.

Chairman

NOTES TO APPLICANT:

- 1). *Select Applicable Item.
- 2). A completed copy of this Notice must be approved prior to publication in The Sentinel.
- 3). The cost and responsibility for publication of this Notice is fully the Applicants.

RESULTS OF P.B. MEETING

DATE: January 27, 1993

PROJECT NAME: Hud. Valley Drilling

PROJECT NUMBER 93-3

LEAD AGENCY: 1/27/93

NEGATIVE DEC: _____

PUBLIC HEARING: Yes

DISCUSSION:

SEND TO ORANGE CO. PLANNING: Yes - Revised Plan + to D.O.T.

DISAPPROVED AND REFERRED TO Z.B.A.: YES _____ NO _____

RETURN TO WORK SHOP: YES _____ NO _____

APPROVED _____ APPROVED CONDITIONALLY _____

NEED NEW PLANS: YES _____ NO _____

REASON FOR NEW PLANS OR CONDITIONS OF APPROVAL: _____

HUDSON VALLEY DRILLING, INC. SITE PLAN (93-3)

Paul Cuomo and Mike Frey appeared before the board on this proposal.

MR. CUOMO: The owner, Mike Frey, is here.

MR. PETRO: Paul, before you start, for the members of the Planning Board you want to show that municipal fire was disapproved on 1/22/93.

MR. CUOMO: Yeah, I have those comments. I have the fire department's comments.

MR. PETRO: Are you going to address those tonight?

MR. CUOMO: No, we can't because it's drawn on the map and we can't change the map before you. We've got to go back to the workshop, right?

MR. BABCOCK: I don't know that that is necessary,

MR. PETRO: You're going to have to address it. I think you might be able to go over those comments and address it as such on the plan.

MR. VAN LEEUWEN: I'd rather see it used for this and I don't know these people and get the old trailer cleaned up and old greenhouse because it's a mess. If he cleans it up, I'd rather see something like this than see it the way it is now.

MR. BABCOCK: Only thing is the tank location, I think we can handle that internally and to make sure that the plan has changed for that, if that is the only comment.

MR. CUOMO: There's one other comment is the Highway Department but that is minor to get highway work permit.

MR. LANDER: Why don't you let us know what's going on here.

MR. CUOMO: Well, there's 2 comments main one was the highway, they want the entrance centered.

MR. VAN LEEUWEN: On the lot.

MR. CUOMO: Yeah. Well, that is a reasonable comment. They just want the thing centered, that is all. And they want the radius of the curb coming in to be reduced to 50 feet.

MR. EDSALL: Did those comments come from Don Green?

MR. CUOMO: Directly it come to my office.

MR. LANDER: Make sure he puts it in writing.

MR. CUOMO: He's going to put it in writing.

MR. LANDER: I've heard too many times Don Green told me to or Don Green forgets or somebody else forgets.

MR. CUOMO: He just wanted me to know as fast as possible.

MR. LANDER: This is a well drilling enterprise?

MR. CUOMO: Yes, the location of the 1,500 gallon above ground containment compartment diesel storage tank has to be changed to move it away from the property line 30 feet. Those are the things that have to be done.

MR. LANDER: Can you have the tank next to the building?

MR. CUOMO: Minimum distance from any nearest side of any public or from the nearest building and the same property has to be five feet so we have room to move that tank around. No problem moving that tank?

MR. FREY: Nope.

MR. CUOMO: Those are the only 2 things that really have to be addressed here.

MR. DUBALDI: This is going to be done in phases?

MR. CUOMO: Yes, the owner plans to do this first phase

with his storage of his, the line equipment what do you call it?

MR. VAN LEEUWEN: Pipe, it's called drill casing.

MR. CUOMO: He wants to start with his business and leave this garage up and then he will phase in a building, well the first phase is to take the dwelling out of there.

MR. VAN LEEUWEN: You're going to get all the dwellings off?

MR. CUOMO: Except for the garage, this corner here that is going to go, all the buildings except that garage will be wiped out and that is the first phase and then he will start his business up.

MR. VAN LEEUWEN: What is he going to do, make a parking lot so he can park his trucks, put a fence around it?

MR. CUOMO: That is right.

MR. VAN LEEUWEN: As long as he gets the trailer out that is the first thing.

MR. CUOMO: You're aware they want the trailer out?

MR. FREY: Yes, I'm aware of that. We're basically going to move the trailer out and clean out the property. There's not enough moving room to turn trucks around.

MR. VAN LEEUWEN: You said you're going to leave the garage up for about a year?

MR. FREY: The two car garage.

MR. KRIEGER: The one if front one in the upper right-hand corner and one where the storage tanks are.

MR. FREY: There's a couple of little sheds in there.

MR. VAN LEEUWEN: The one in the back you're going to

remove?

MR. FREY: The one in the back we'll remove, yes.

MR. CUOMO: But the other comment in fairness to everybody is that he has to turn the truck around on the site but his trucks are not that long. When Don Green saw this site plan, he had visions of tractor trailers.

MR. VAN LEEUWEN: The only thing that will come in here with tractor trailer is well casing that comes in tractor trailers.

MR. CUOMO: He has to have room to turn around on the site. He can't back out on the road, he's well aware of that.

MR. FREY: That is right.

MR. CUOMO: You can't back a truck onto a state road, it's against the law.

MR. DUBALDI: How much of this is going to be paved?

MR. CUOMO: Well, Phase One we are, we're going to pave first 50 feet coming in.

MR. FREY: No more than we have to. Blacktop is expensive. The reason we're paving 50 feet is to keep the mud off the highway, that is the general idea.

MR. VAN LEEUWEN: The State requires it.

MR. FREY: That is a good reason. I don't have a problem with that. The handicapped parking and all is Phase Two, when we build the building on the property, this could be a while down the road, a year, two years down the road, when we build the property we'll address handicapped parking and exact location of the building.

MR. PETRO: Are you going to have public coming on to the property?

MR. FREY: There's no public people coming in there,

it's my own use.

MR. VAN LEEUWEN: You're not going to sell well casing off the site, are you?

MR. FREY: No.

MR. VAN LEEUWEN: Storing it for his own use.

MR. FREY: Yes.

MR. PETRO: What about you're going to have employees?

MR. FREY: I have one employee now.

MR. BABCOCK: Basically, it's not a place of business as far as he's concerned. He's got a worker basically his worker would meet him at the job site so or could meet him there.

MR. PETRO: Handicapped space not being blacktopped at this time is not a problem.

MR. EDSALL: Handicapped space on the property won't be constructed until the garage is constructed so they would be installed at the same time.

MR. VAN LEEUWEN: I don't see any problem with this.

MR. PETRO: Existing well on the property, you have an existing well, are you going to use that well to service any of the buildings or are you going to close it off and dispose of it?

MR. FREY: I don't know the details on the well but I will use well water, yes, I'm a well driller, I intend to use well water.

MR. PETRO: Shows exactly what are your plans.

MR. FREY: Test it first maybe drill it deeper but I do use a good amount of water and I intend to get it out of the ground.

MR. VAN LEEUWEN: He has these truck body on it about

this high inside the body is water because when he's dwelling, he needs water all the time, am I correct?

MR. FREY: That is right.

MR. VAN LEEUWEN: That is probably what he will draw is the water for here but that is not for drinking purposes, just for drilling purposes.

MR. LANDER: What's the existing dwelling next door is that a residence? There's a residence over here somewhere is this it?

MR. VAN LEEUWEN: There's 2 residences on the property, there's 2 residences there.

MR. CUOMO: Two residences on Graziano's and then there's a residence over here, existing dwelling what's that, small house there? We're in a commercial zone.

MR. LANDER: You have shrubs here, I guess that is for a buffer.

MR. CUOMO: Yeah, we put in some.

MR. LANDER: So people don't get too much dust. I know it's compacted shale but it's still sometime during the summer, it's going to get dusty. Do you have any idea how high the shrubs are going to be or what they are?

MR. CUOMO: We just say it's screening so it should be at least 6 foot high, if it is going to be a screening fence.

MR. LANDER: From the end of the curbing in are going to be 6 foot.

MR. CUOMO: Should be if it is screening.

MR. LANDER: Are we going to have a dumpster on the site anyplace? People can bag their garbage and take it to the transfer station, that is strictly up to you. If you are going to have a dumpster, have it on the print here somewhere.

MR. VAN LEEUWEN: I don't he see why he needs a dumpster, he's not going to have any people.

MR. DUBALDI: I make a motion--.

MR. VAN LEEUWEN: Town garbage district.

MR. LANDER: Normally if it is a commercial type business he's going to generate some kind of--

MR. CUOMO: He can put it on the road.

MR. VAN LEEUWEN: Generates a lot of scrap.

MR. DUBALDI: I make a motion that the New Windsor Planning Board assume lead agency under the SEQRA process.

MR. VAN LEEUWEN: I'll second that motion.

MR. PETRO: Motion has been made and seconded New Windsor Planning Board take lead agency for the Hudson Valley Drilling Inc. site plan Route 94. Any further discussion from the board members? If not roll call.

ROLL CALL

MR. LANDER	AYE
MR. DUBALDI	AYE
MR. PETRO	AYE
MR. VAN LEEUWEN	AYE

MR. PETRO: I think I'd like to have some comments from the board members if we do or do not need to have a public hearing on this site.

MR. VAN LEEUWEN: I make a motion to waive public hearing, Mr. Chairman.

MR. PETRO: We should talk about that, there's a lot of homes around the area. Are we sure that is going to be--.

MR. VAN LEEUWEN: Jack Graziano is going to tear both those houses down, the only other one.

MR. PETRO: Which one is that?

MR. VAN LEEUWEN: To the left now or formally of Brown.

MR. PETRO: How about Mr. Brown on both sides?

MR. VAN LEEUWEN: On the other side there's an office building there.

MR. VAN LEEUWEN: Four little stores downstairs and there's an office couple offices upstairs, the offices upstairs are empty, I think maybe all 4 of them are rented, I'm not sure.

MR. PETRO: How about in the back what are those properties Alexander and Thompkins left and right either side in the back of the property?

MR. VAN LEEUWEN: That I don't know anything about but he's going to put a stockade fence.

MR. CUOMO: To the right is the, there's nothing, it's just the dog kennel. There's nothing there except the kennel.

MR. PETRO: And Thompkins on the other side.

MR. CUOMO: I remember I did Graziano's job.

MR. PETRO: We know this is a permitted use in a permitted zone, I'm just concerned if there are people living there if this would create a problem for them. Of course they'd have to give us some due cause to have a problem.

MR. VAN LEEUWEN: Sometimes people make problems when they don't have any. They are going to put up an eight foot stockade fence all the way around the property and the railroad track in the back is abandoned.

MR. LANDER: Are we allowed to have an eight foot stockade fence?

MR. BABCOCK: Yeah, as long as it's considered

enclosure for screening for Planning Board purposes. You're allowed six foot anywhere on your property line but as long as it's in good taste with the Planning Board for screening or landscaping, you can go as high as 15 feet.

MR. LANDER: Do they sell or do they have stockade fences? Well, evidently this is going to be two foot off the ground from the way it is on this plan, if it's a 6 foot stockade fence.

MR. VAN LEEUWEN: Shows on the diagram eight feet.

MR. LANDER: Do they make an eight foot stockade fence?

MR. VAN LEEUWEN: Yes, they do. Why does it show two feet off the ground?

MR. LANDER: Look at the diagram, it's not on finished grade so it must be off the ground. I always was under the assumption that a stockade fence was 6 foot. If it is eight foot, let it be eight foot, if they make it. If not, it's got to be two foot off the ground.

MR. PETRO: They do make an eight foot.

MR. PETRO: We have a motion on the floor to waive the public hearing.

MR. DUBALDI: I'll second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board under its discretionary ruling waive public hearing for Hudson Valley Drilling Inc. site plan Route 94.

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. DUBALDI	AYE
MR. LANDER	NO
MR. PETRO:	NO

MR. PETRO: So we can't carry that.

MR. VAN LEEUWEN: You want a public hearing?

MR. PETRO: We're going to have to have a public hearing, I just feel that the surrounding properties that I think a public hearing I can tell you what we'll do to expedite this. You have a lot of comments on this that have to be clarified, a lot of them are minor in nature, you can go over them, get sheet from Mark, we'll schedule you for a public hearing. It has to go to Orange County DOT and Orange County Planning so not to waste any time, we'll coordinate all of that, you have to do that any way so it is not going to be a major waste of time for you. This is required by law and they have 30 days.

MR. VAN LEEUWEN: Off the record.

(Discussion was held off the record)

MR. LANDER: How far does he have to send notices?

MR. BABCOCK: Adjoining and adjacent, it's not a variance, it's just a site plan.

MR. LANDER: The reason I voted no is because there are people that live in that area and I think they would like to know as well.

MR. PETRO: I think it would be better off in the long run. Before it starts and they come to the Town and say how come there wasn't a public hearing and I wasn't notified.

MR. PETRO: I agree with Ron 100 percent.

MR. VAN LEEUWEN: I don't feel that way because there's no houses in the area adjacent to it, there's a couple shacks right down the road. Matter of fact, I think in the back here there's another trailer sitting back here if I am not mistaken.

MR. PETRO: I don't think we're going to be holding up the applicant because he has to go through this other procedure and he well get scheduled for the next meeting.

MR. BABCOCK: Paul, what you should do, order your list from the assessor tomorrow morning and get it going if you are ready for the next agenda.

MR. CUOMO: Okay, I'll order the list tomorrow.

MR. LANDER: If there's no problem at that public hearing.

MR. BABCOCK: As soon as you are ready, we'll put you back on the agenda.

MR. CUOMO: The public hearing will be what?

MR. BABCOCK: Whenever you're ready.

MR. PETRO: Get this plan, get these comments. Once you get it done, we'll schedule a public hearing.

MR. EDSALL: The rest of these are mostly some minor corrections. One item I want to get into the record the board's decision on is with regard to the final site plan after Phase 1 and 2 are built, there's the area from 50 foot in from the highway in will not be paved with the exception of the apron in front of the proposed garage.

MR. PETRO: Until Phase 2 is built.

MR. EDSALL: All Phase 2 has a compacted shale surface.

MR. VAN LEEUWEN: The driveway should be paved up to the building.

MR. EDSALL: The board normally wants at minimum either pavement or oil and chip surface for driveways and parking areas. I agree with the approach that the storage area should be compacted shale, there's no need for them to spend any money putting a surface on that but I do want your decision so Paul knows what he has to do for the Phase 2 area of the driveway.

MR. LANDER: I have no problem. I don't know if that

is, I think if it went up to the fence line, you're going to have a gate there any way, all right, so if it went up to the fence line, it would be fine.

MR. PETRO: Where is the fence line?

MR. EDSALL: Just follow the road in.

MR. PETRO: Then the parking spaces will not be blacktopped? I think they should go up passed the parking spaces.

MR. CUOMO: There is a gate here, you mean pave passed the gate?

MR. EDSALL: Handicapped is part of the apron that is one of the reasons when we worked with them at the workshop we're getting double use out of the area of the apron.

MR. PETRO: Why isn't the handicapped spot marked on this?

MR. EDSALL: It is, it's to the left corner of the proposed garage.

MR. PETRO: I see it way up there.

MR. EDSALL: The idea of handicapped person coming to the facility is quite slim so we figured we put it up there and get double use out of the apron.

MR. LANDER: Let's figure out what we want, to the apron of the building or to the gate.

MR. VAN LEEUWEN: I'd like to see it to the building.

MR. CUOMO: In Phase 2?

MR. VAN LEEUWEN: Correct, in Phase 2.

MR. PETRO: Including the parking spaces? If not, how are you going to define the parking spaces on the shale?

MR. VAN LEEUWEN: You're not going to.

MR. PETRO: I think you have direction up to the building there and it's in Phase 2 so you should be prepared to do it, Paul, it's very, get all these comments situated on the map so when we get a revised map we're not going to send this map to Orange County Planning, there's too many changes so as soon as you get them back, also you have to get the tank situated and get a map back.

MR. CUOMO: I got his comments right here.

MR. PETRO: Work with Myra in getting the public hearing set, once you get the maps in.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- ☐ **Main Office**
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ **Branch Office**
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: HUDSON VALLEY DRILLING, INC. SITE PLAN
PROJECT LOCATION: NYS ROUTE 94
SECTION 67-BLOCK 4-LOT 16
PROJECT NUMBER: 93-3
DATE: 27 JANUARY 1993
DESCRIPTION: THE APPLICANTS HAVE SUBMITTED A PLAN FOR THE DEVELOPMENT OF AN EXISTING "FLAG-LOT" SHAPED PARCEL ON THE NORTH SIDE OF ROUTE 94 AS A SERVICE ESTABLISHMENT. THE PLAN WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. The plan, as proposed, appears to comply with the current A-10 bulk requirements for the Neighborhood Commercial (NC) Zone.

Some corrections are necessary to the bulk table, including the following:

- a. The single side yard "proposed" value should be 16', as indicated on the site plan.
 - b. The floor area ratio number is indicated incorrectly (same should be a percentage) and, as well, was calculated without the garage included. A corrected value reflecting the total of both the proposed and existing garage should be provided.
2. The Board should note that this site plan is proposed as a phased project. The Board should refer to general information notes 6 and 7 in this regard.
 3. As part of the Board's review of the proposed phasing, the Board should note that Phase II includes the paving of the handicapped parking space and an apron for the proposed 2,000 square foot garage/office. The Board should also note that the Applicant does not intend to pave the access drive (other than the first 50 feet), or the four parking spaces and general access area to the two garages. The Board should make a formal decision if this is acceptable, prior to considering site plan approval. In any case, I concur with the use of compacted shale as a surface for the storage area.

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-2-

PROJECT NAME: HUDSON VALLEY DRILLING, INC. SITE PLAN
PROJECT LOCATION: NYS ROUTE 94
SECTION 67-BLOCK 4-LOT 16
PROJECT NUMBER: 93-3
DATE: 27 JANUARY 1993

4. The plan depicts an existing well within the storage area. It should be confirmed whether this well is to be abandoned (and if so, done properly), or if same will continue use as a potable supply. If same is intended as a potable supply, efforts should be made to properly protect same from contamination.
5. I have recently become aware of concern on behalf of the Fire Inspector with regard to the proposed location for the 1,500 gallon storage tank. This issue should be resolved as soon as possible.
6. The submitted plan includes location of a handicapped parking space on the site plan, as well as details in conjunction with same. Conflicts exist on the plan, and the typical detail should be also corrected as follows:
 - a. On the site specific site plan, the handicapped parking space and adjoining striped section have widths which conflict with the typical detail. So as not to create confusion, the site plan should be corrected.
 - b. The handicapped space detail should locate the parking sign in front of the parking space.
 - c. The handicapped space detail should note that all pavement striping and delineation for the handicapped space will be painted in the approved blue color.
7. The Planning Board may wish to assume the position of Lead Agency under the SEQRA process.
8. The Planning Board should determine, for the record, if a Public Hearing will be necessary for this Site Plan, per its discretionary judgement under Paragraph 48-19.C of the Town Zoning Local Law.
9. Submittal of this plan/application to the New York State Department of Transportation and Orange County Planning Department will be required.

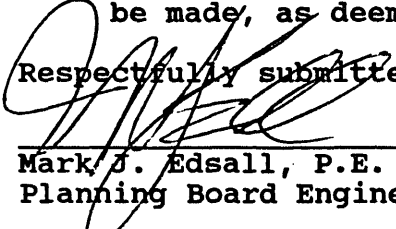
TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-3-

PROJECT NAME: HUDSON VALLEY DRILLING, INC. SITE PLAN
PROJECT LOCATION: NYS ROUTE 94
SECTION 67-BLOCK 4-LOT 16
PROJECT NUMBER: 93-3
DATE: 27 JANUARY 1993

10. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully submitted,



Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:HUDSON.mk

93 - 3

MIKE FREY SITE PLAN ROUTE 94 VAILS GATE

Mr. Paul Cuomo and Michael Frey appeared before the board on this proposal.

MR. BABCOCK: This is on Route 94 if you are going west on 94, passed Van's Carpet underneath the Thruway on the right-hand side, you have the dog kennel, then a couple small and then the new store there then Jack's Sunoco has an approval, if you slow down right in there and look in the back, you'll see a mobile home with a addition on it. There is a for sale sign in there now. Mike Frey is a well driller in the area, he came and see me and basically he'd like to buy this piece of property and set up his business and shop there. And I think maybe I can let them guys fill you in on what exactly they want to do. When I talked to Mike, he did not have interest of putting up a building right today. In the near future but not today and if he was putting up a building for the storage of his equipment, I don't think there'd be any question I think it's a permit use. The idea of him not putting up a building at the present time I think that is a question that the Planning Board could answer.

MR. VAN LEEUWEN: Are you going to take the trailer out?

MR. BABCOCK: You're welcome to ask him whatever questions you want.

MR. FREY: Hi, I'm Mike Frey, Hudson Valley Drilling, yes, the trailer is in the way to park any trucks in there so yes, the trailer will be removed.

MR. BABCOCK: It's an NC zone, the trailer is a non-conforming use to be there to begin with and he wants to put up a building in the future.

MR. PETRO: Is it wooded on the lot?

MR. VAN LEEUWEN: Whose business did you buy?

MR. PETRO: Congelossi.

MR. PETRO: Is it a wooded lot at all? I'm looking for what kind of buffer zone would it be now between the homes that are there.

MR. FREY: Between the dog kennel it's all wooded which will be the west side.

MR. VAN LEEUWEN: Next site plan just take a look passed there, if he is going to take the trailer out of there.

MR. FREY: It's mostly back land, it's narrow in the front, it's 50 foot road frontage but in behind it, it sets back in there. There's also a 2 car garage on there.

MR. SCHIEFER: How wide is the front?

MR. CUOMO: Front is 50 feet.

MR. VAN LEEUWEN: Personally, I don't care if you park your stuff back there if you get rid of the trailer.

MR. FREY: That is good news, that is what we're waiting to hear. What I'd like to know what the board's feeling is.

MR. PETRO: Let's realize one thing and I want it in the minutes that this, he's pending purchase of this property on what we say here so we're saying that we do not have a problem with the trailers or trucks being parked on this property as far as any approvals or conditions set forth for buildings you have to come back and go through normal procedure.

MR. FREY: I want to make sure the board understands the whole aspect of the drilling operation.

MR. VAN LEEUWEN: How many trucks you got?

MR. FREY: About 5 licensed trucks now.

MR. VAN LEEUWEN: Any drill rigs?

MR. FREY: Two.

MR. VAN LEEUWEN: How many water bed?

MR. FREY: Two, actually three and pick-up truck.

MR. PETRO: You can't have any huts or buildings of any kind for storage.

MR. FREY: I store motor oils. I have a whole selection of oils.

MR. VAN LEEUWEN: In the 2 car garage?

MR. FREY: Yes, I'd like to use the two car garage at this point pre-existing additional building will be--

MR. PETRO: Anyone else have any, Mark, you want to add something?

MR. EDSALL: I really think if he is going to maintain that garage or even if he wasn't maintaining the garage, if he's establishing a use, you should classify the use and agree to it and agree that that use is acceptable in the district cause as we've said in the past, the lack of a building doesn't mean the use isn't occurring, you don't want to violate that precedent.

MR. PETRO: What use would--

MR. EDSALL: Mike and I looked at the code and the closest one it appears it would fit under use by right is a services establishment, furnishing services other than of a personal nature but excluding gasoline filling stations, motor vehicle storage, repair or service so it would become obviously well drilling service is a personal service but it's obviously not a gas station or repair so as long as you agree that that, his particular use fits into that use then it's a use by right, doesn't need a special permit.

MR. PETRO: This is neighborhood commercial?

MR. EDSALL: Yes.

MR. VAN LEEUWEN: Basically, all four pieces or five

pieces going to be there every weekend?

MR. FREY: No.

MR. VAN LEEUWEN: You don't bring the rig home overnight, do you?

MR. FREY: No, rig is usually on the job, sometimes it comes in, sometimes it stays in for two weeks, sometimes maintenance is two weeks long. You do repairs, sometimes you're out every day.

MR. PETRO: I don't want to cloud this for you but I feel we should touch on it. There are homes on the adjacent properties.

MR. VAN LEEUWEN: They are in NC zone.

MR. PETRO: They should expect anyone who owns that property could come in with tractor trailers.

MR. VAN LEEUWEN: Anybody that lives in a NC should expect there's going to be something besides houses. You can't build a house.

MR. FREY: I store well casings, sometimes tractor trailers loads, you know, not ten tractor trailers but.

MR. VAN LEEUWEN: How often are you going to have a tractor trailer come in with well casings?

MR. FREY: Once a month, once every two months.

MR. PETRO: I agree with you.

MR. VAN LEEUWEN: Andy had it behind his house I don't know how many years.

MR. PETRO: Mark, just for the minutes again we're going to classify this as what use and zone?

MR. EDSALL: Use A 10 which is service establishments as long as the board agrees that is what it is, they don't have a zoning problem.

MR. PETRO: Any member have a problem, so it is use A

10.

MR. BABCOCK: On the building when there's a clear change of use typically, it would have to meet the new criteria of day. I don't know whether this garage, I'm sure in some time in the future would be an accessory structure, not the principle structure so we need to address that too. Is it an existing building or is it going to need to meet the setbacks of today's code?

MR. VAN LEEUWEN: It's an existing building, the lot's been existing how many years?

MR. EDSALL: We have to set a little paper trail on the basis for what we're doing. We're accepting existing accessory building as continuing to be accessory but it's accessory to a different use. I don't want to get into a box where we have a building that is being used for a new use but that building doesn't meet the code because it's going to set a precedent the next guy in is going to say he doesn't need a variance.

MR. VAN LEEUWEN: Ask Paul to show the building on the map and show the distances.

MR. EDSALL: Maybe it will meet, maybe it won't. But if it doesn't meet as a principle building, then you should.

MR. BABCOCK: Have you done anything down there yet?

MR. CUOMO: No.

MR. PETRO: Keep it as an accessory building now and in the future--

MR. BABCOCK: Show it as an accessory structure and we don't very to worry about the setbacks.

MR. KRIEGER: Would there be a problem, does it meet the setbacks?

MR. EDSALL: We hope it would.

MR. BABCOCK: If it is a 2 car garage, it's an accessory structure ten foot off the property line.

MR. KRIEGER: Accessory to what?

MR. BABCOCK: To the use that is the problem.

MR. PETRO: We just established the use so it is established at this point, even though it's an accessory structure. Mark, do you have a problem with that?

MR. EDSALL: No, it's just good to have it on the, record every case is unique and we don't--

MR. FREY: Is there timeframes for moving the trailer?

MR. PETRO: Once you close on the property, I'd like to see it gone in 30 to 60 days.

MR. FREY: There's people living there now.

MR. VAN LEEUWEN: As soon as you close out unless he's got life rights or something.

MR. FREY: Nope, well, he might want to stay there for a couple months, I don't know.

MR. VAN LEEUWEN: Let Mike Babcock know how long it's going to take before you get the trailer.

MR. BABCOCK: Let the board know next time you come back with an application and the board will agree or disagree.

MR. FREY: What I am asking do you want it out of there right away or can I leave it? I wasn't going to move my trucks there the next day.

MR. VAN LEEUWEN: The quicker the better.

MR. BABCOCK: Better out of there before you start putting the trucks.

MR. PETRO: That is what the board would like,

otherwise first thing you know you have trailer sitting there with the purchase of the property.

MR. FREY: Well, the trailer is an add-on trailer so it's really like a double wide, the front side has foundation and all, brick fireplace and the works.

MR. PETRO: I think the board has given an indication they'd like to see it out and I'd say a timeframe of 30 to 60 days after the closing on the property. Why don't you work within that timeframe?

MR. FREY: Sounds all right.

MR. EDSALL: You should establish the use on the site so get a plan in.

MR. PETRO: You have an indication from the New Windsor Planning Board that it is viable and you can proceed if you want to go with the purchase of the property, come back show the trailer as being removed, that is exactly what I said within 30 to 60 days, show the accessory building to the use which Mark has indicated as A 10 on the property and have it also plotted on the site. And the intended use of the property.



COUNTY OF ORANGE
Department of Planning

124 MAIN STREET, GOSHEN, NEW YORK 10924
TEL: (914) 294-5151 FAX: (914) 294-3546

Mary M. McPhillips
County Executive

Peter Garrison
Commissioner of Planning

R. Vincent Hammond
Deputy Commissioner

ORANGE COUNTY DEPARTMENT OF PLANNING
239 L, M OR N REPORT

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and countywide considerations to the attention of the municipal agency having jurisdiction.

Referred by:

Town of New Windsor

OCDP Reference No.:

NWT 2 93 M

County I.D. No.:

67-4-16

Applicant:

Paul Allen

Proposed Action:

Site Plan - Const. a 2000 S.F. Bldg. re: fencing & landscaping

State, County, Inter-Municipal Basis for Review:

Within 500' of NYS Rte. 94

Comments:

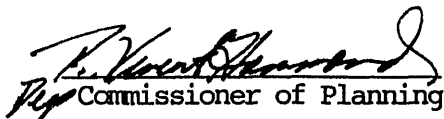
There are no significant Inter-community or Countywide concerns to bring to your attention.

Related Reviews and Permits:

County Action: Local Determination X Disapproved Approved

Approved subject to the following modifications and/or conditions:

Date: 3/8/93


R. Vincent Hammond
Deputy Commissioner of Planning

✓
cc: M.E.

INTER OFFICE CORRESPONDENCE

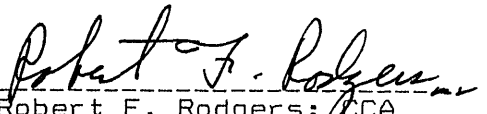
TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 10 March 1993
SUBJECT: Hudson Valley Drilling, Inc.

PLANNING BOARD REFERENCE NUMBER: PB-93-3
DATED: 15 February 1993
FIRE PREVENTION REFERENCE NUMBER: FPS-93-010

A review of the above referenced subject site plan was conducted on 10 March 1993.

This site plan is accepted.

PLANS DATED: 24 December 1992.


Robert F. Rodgers; CCA
Fire Inspector

RFR:mr
Att.

✓
CC: M.E.



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 93 - 3

DATE PLAN RECEIVED: JAN 21 1993

The maps and plans for the Site Approval Hudson Valley Drilling

Subdivision _____ as submitted by

P. Cuomo for the building or subdivision of

_____ has been

reviewed by me and is approved ✓

disapproved _____.

If disapproved, please list reason _____

Fred S. [Signature] 2/26/93
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 93 - 3

DATE PLAN RECEIVED: JAN 21 1993

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
_____ for the building or subdivision of
_____ has been
reviewed by me and is approved OK NO WATER,
disapproved _____.

If disapproved, please list reason _____

HIGHWAY SUPERINTENDENT DATE

[Signature] 1-27-93
WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

NEW YORK STATE DEPARTMENT OF TRANSPORTATION
EAST ORANGE AND ROCKLAND OFFICE
PERMIT INSPECTION
112 DICKSON STREET
NEWBURGH, NEW YORK 12550
Telephone (914) 562-4094

Albert J. Bauman
Regional Director

Franklin E. White
Commissioner

January 28, 1992

Planning & Zoning Board
Town of NEW WINDSOR
55 Union Ave.
New Windsor, N.Y. 12553

Re: Well Driller
ROUTE 94 West of Thruway

93-3

Dear Chairperson;

We have reviewed this matter and please find our comments checked below.

XX A highway work permit will be required. Please ask Building Department not to issue building permit without proof of State Highway Work Permit.

 No objection.

 Need additional information; Traffic study ,
and or Drainage study .

 To be reviewed by Regional Office.

 Does not effect New York State Department of Transportation.

PLEASE NOTE: Entrance must conform to state highway work permit.

ADDITIONAL COMMENTS: Met with engineer for project, suggested changes in phase development of property. There could be problem moving trucks around yard.

Yours truly,



Donald Greene
C.E.I Permits
East Orange and Rockland Counties.

cc: M.E.

ORANGE COUNTY DEPARTMENT OF PLANNING
APPLICATION FOR MANDATORY COUNTY REVIEW
OF LOCAL PLANNING ACTION

(Variances, Zone Changes, Special Permits, Subdivisions, Site Plans)

Local File No. 93-3

1. Municipality TOWN OF NEW WINDSOR Public Hearing Date 3-10-93

☐ City, Town or Village Board ☒ Planning Board ☐ Zoning Board

2. Owner: Name Allen, Paul

Address P.O. Box 454 - Vails Gate, N.Y. 12584

3. Applicant*: Name Frey, Michael

Address 2213 Rt. 94 - Salisbury Mills, N.Y.

* If Applicant is owner, leave blank

4. Location of Site: Rt. 94 (West side) 1,000 ft. North of Riley Rd.
(street or highway, plus nearest intersection)

Tax Map Identification: Section 67 Block 4 Lot 16

Present Zoning District NC Size of Parcel .6966

5. Type of Review:

Special Permit: _____

Variance: Use _____

Area _____

Zone Change: From _____ To _____

Zoning Amendment: To Section _____

Subdivision: Number of Lots/Units _____

Site Plan: Use Construct 50' x 40' Bldg. - Fencing & Landscaping

2/16/93

Date

Myra Mason Secy to the P.B.
Signature and Title

INTER OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 22 January 1993
SUBJECT: Hudson Valley Drilling, Inc.

PLANNING BOARD REFERENCE NUMBER: PB-93-3
DATED: 21 January 1993

FIRE PREVENTION REFERENCE NUMBER: FPS-93-003

A review of the above referenced subject site plan was conducted on 22 January 1993, with the following being noted.

1.) The location of the 1,500 gallon above ground dual containment compartmented diesel/gasoline storage tank does not conform with National Fire Protection Association - NFPA 30 Code.


With no protection it must be placed a minimum distance in feet from the property line which is or can be built upon, including the opposite side of a public way at least 30 feet.

The minimum distance in feet from the nearest side of any public way or from the nearest side of any public was or from the nearest important building in the same property at least 5 feet.

2.) Also, please show the location of the actual dispensing pump (s) as well as vehicle protection for the pumps and tank storage.

This site plan is rejected.

PLANS DATED: 24 December 1992


Robert F. Rodgers; CCA
Fire Inspector

RFR:mr
Att.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- ☐ Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

1-3

TOWN/VILLAGE OF

New Windsor

P/B # _____

WORK SESSION DATE:

20 Jan 93

APPLICANT RESUB.
REQUIRED:

REAPPEARANCE AT W/S REQUESTED: _____

PROJECT NAME:

Mike Frege Hudson Valley Drilling 7P

PROJECT STATUS:

NEW

☒ OLD

REPRESENTATIVE PRESENT:

Nick

MUNIC REPS PRESENT:

BLDG INSP.

☒

FIRE INSP.

ENGINEER

☒

PLANNER

P/B CHMN.

OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

MYRA

- Pks show 1/1000 not 0-7
- MYRA send to DOT Don Greene when new plan rec'd
- note 1 - contract & register per DEC Bldg Per.
- note re garage & apron phase II
- add fence for security & screening
- move sign
- show paved to & apron to bldg

Next avail agenda

4MJEP1 pbwform

after plans



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- ☐ Main Office
45 Ouassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF New Windsor P/B # -

WORK SESSION DATE: 6 JAN 93 APPLICANT RESUB.
REQUIRED: K11

REAPPEARANCE AT W/S REQUESTED: Yes

PROJECT NAME: Mike Freye Hicken Valley Drilling

PROJECT STATUS: NEW X OLD

REPRESENTATIVE PRESENT: PVC

MUNIC REPS PRESENT: BLDG INSP. X
FIRE INSP.
ENGINEER X
PLANNER
P/B CHMN.
OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

Rt 94-

bulk table A-10

ask if he want fence

add" pks spaces - show 3

show overhead door

verify ore 15' o/H door

use 1/1000 for pks $\frac{50 \times 40}{1000} = 2$

Paved drive & pks

Storage area rolled shale

4MJJE91 pbwsform

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 125530

(This is a two-sided form)

APPLICATION FOR SITE PLAN, SUBDIVISION PLAN,
OR LOT LINE CHANGE APPROVAL

1. Name of Project HUDSON VALLEY DRILLING INC.
2. Name of Applicant MR. MICHAEL FREY Phone (914) 496-2131
Address 2213 RTE 94 SALISBURY MILLS N.Y. 12577
(Street No. & Name) (Post Office) (State) (Zip)
- ✓ 3. Owner of Record MR. PAUL ALLEN Phone 562-5873
Address P.O. Box 454 VAILS GATE N.Y. 12584
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan PAUL V. CUOMO P.E. Phone (914) 567-0063
Address Box 2005 D STREET NEW WINDSOR N.Y.
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney NONE Phone —
Address —
(Street No. & Name) (Post Office) (State) (Zip)
6. Person to be notified to represent applicant at Planning Board Meeting PAUL V. CUOMO P.E. Phone 567-0063
(Name)
7. Location: On the ~~EAST~~ WEST side of RTE 94
1,000 feet NORTH
(Street) (Direction)
of RILEY ROAD
(Street)
8. Acreage of Parcel .6966 9. Zoning District NC
9A. School District —
10. Tax Map Designation: Section 67 Block 4 Lot 16
11. This application is for SITE PLAN APPROVAL

12. Has the Zoning Board of Appeals granted any variance or a Special Permit concerning this property? NO

If so, list Case No. and Name _____

13. List all contiguous holdings in the same ownership NONE
Section _____ Block _____ Lot(s) _____

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT

(Completion required ONLY if applicable)

COUNTY OF ORANGE

SS.:

STATE OF NEW YORK

PAUL ALLEN being duly sworn, deposes and says that he resides at RT#94 NEW WINDSOR in the County of ORANGE and State of NEW YORK and that he is (the owner in fee) of SECT 67, BLK 4, LOT 16 (Official Title)

of the Corporation which is the Owner in fee of the premises described in the foregoing application and that he has authorized MICHAEL FREY to make the foregoing application as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

Paul Allen
(Owner's Signature)

20th day of January 19 93

* Michael Frey
(Applicant's Signature)

John Lease III
Notary Public

(Title)

JOHN LEASE III
Notary Public, State of New York
Qualified in Orange County
(No. 437215)
Commission Expires May 26, 1993

PROJECT I.D. NUMBER

617.21

93 - 3
JAN 21 1999 SEQR

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR MR. MICHAEL FREY	2. PROJECT NAME HODSON VALLEY DRILLING INC.
3. PROJECT LOCATION: Municipality NEW WINDSOR County ORANGE	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) SEE ATTACHED SITE PLAN	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: CONSTRUCT 50'x40' BLDG CONSTRUCT DRIVEWAY INSTALL FENCING LANDSCAPE	
7. AMOUNT OF LAND AFFECTED: Initially .6966 acres Ultimately .6966 acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: Michael Frey	Date: 1-20-93
Signature: MICHAEL FREY	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency. <input type="checkbox"/> Yes <input type="checkbox"/> No	
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible) C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly: C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly: C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly: C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly: C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly. C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly. C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly. D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, explain briefly	

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

<input type="checkbox"/> Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:	
_____ Name of Lead Agency	
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from responsible officer)
_____ Date	

JAN 21 1993

PROXY STATEMENT
for submittal to the
TOWN OF NEW WINDSOR PLANNING BOARD

MR. PAUL ALLEN, deposes and says that he
resides at Rt. 94, Vails Gate, NY. 12584.
(Owner's Address)
in the County of ORANGE
and State of NEW YORK
and that he is the owner in fee of TAX MAP #
SECT 67, BLK 4, LOT 16
which is the premises described in the foregoing application and
that he has authorized PAUL V. CUOMO P.E.
to make the foregoing application as described therein.

Date: 1/20/93.

x Paul Allen
(Owner's Signature)
John Lease III
(Witness' Signature)

JOHN LEASE III
Notary Public, State of New York
Qualified in Orange County
No. 4893815
Commission Expires May 26, 1993

THIS FORM CANNOT BE WITNESSED BY THE PERSON OR REPRESENTATIVE OF
THE COMPANY WHO IS BEING AUTHORIZED TO REPRESENT THE APPLICANT
AND/OR OWNER AT THE MEETINGS.

TOWN OF NEW WINDSOR PLANNING BOARD
SITE PLAN CHECKLIST

JAN 21 1993

ITEM

- | | |
|---|--|
| 1. <input checked="" type="checkbox"/> Site Plan Title | 29. <input checked="" type="checkbox"/> Curbing Locations |
| 2. <input checked="" type="checkbox"/> Applicant's Name(s) | 30. <input checked="" type="checkbox"/> Curbing Through |
| 3. <input checked="" type="checkbox"/> Applicant's Address(es) | Section |
| 4. <input checked="" type="checkbox"/> Site Plan Preparer's Name | 31. <input checked="" type="checkbox"/> Catch Basin Locations |
| 5. <input checked="" type="checkbox"/> Site Plan Preparer's Address | 32. <input checked="" type="checkbox"/> Catch Basin Through |
| 6. <input checked="" type="checkbox"/> Drawing Date | Section |
| 7. <input type="checkbox"/> Revision Dates | 33. <input checked="" type="checkbox"/> Storm Drainage |
| 8. <input checked="" type="checkbox"/> AREA MAP INSET | 34. <input checked="" type="checkbox"/> Refuse Storage |
| 9. <input checked="" type="checkbox"/> Site Designation | 35. <input checked="" type="checkbox"/> Other Outdoor Storage |
| 10. <input checked="" type="checkbox"/> Properties Within 500 Feet | 36. <input checked="" type="checkbox"/> Water Supply |
| of Site | 37. <input checked="" type="checkbox"/> Sanitary Disposal Sys. |
| 11. <input checked="" type="checkbox"/> Property Owners (Item #10) | 38. <input checked="" type="checkbox"/> Fire Hydrants |
| 12. <input checked="" type="checkbox"/> PLOT PLAN | 39. <input checked="" type="checkbox"/> Building Locations |
| 13. <input checked="" type="checkbox"/> Scale (1" = 50' or lesser) | 40. <input checked="" type="checkbox"/> Building Setbacks |
| 14. <input checked="" type="checkbox"/> Metes and Bounds | 41. <input checked="" type="checkbox"/> Front Building |
| 15. <input checked="" type="checkbox"/> Zoning Designation | Elevations |
| 16. <input checked="" type="checkbox"/> North Arrow | 42. <input checked="" type="checkbox"/> Divisions of Occupancy |
| 17. <input checked="" type="checkbox"/> Abutting Property Owners | 43. <input checked="" type="checkbox"/> Sign Details |
| 18. <input checked="" type="checkbox"/> Existing Building Locations | 44. <input checked="" type="checkbox"/> BULK TABLE INSET |
| 19. <input checked="" type="checkbox"/> Existing Paved Areas | 45. <input checked="" type="checkbox"/> Property Area (Nearest |
| 20. <input checked="" type="checkbox"/> Existing Vegetation | 100 sq. ft.) |
| 21. <input checked="" type="checkbox"/> Existing Access & Egress | 46. <input checked="" type="checkbox"/> Building Coverage (sq. |
| | ft.) |
| | 47. <input checked="" type="checkbox"/> Building Coverage (% |
| | of Total Area) |
| | 48. <input checked="" type="checkbox"/> Pavement Coverage (Sq. |
| | Ft.) |
| | 49. <input checked="" type="checkbox"/> Pavement Coverage (% |
| | of Total Area) |
| | 50. <input checked="" type="checkbox"/> Open Space (Sq. Ft.) |
| | 51. <input checked="" type="checkbox"/> Open Space (% of Total |
| | Area) |
| | 52. <input checked="" type="checkbox"/> No. of Parking Spaces |
| | Proposed. |
| | 53. <input checked="" type="checkbox"/> No. of Parking |
| | Required. |

PROPOSED IMPROVEMENTS

22. ☒ Landscaping
 23. ☒ Exterior Lighting
 24. ☒ Screening
 25. ☒ Access & Egress
 26. ☒ Parking Areas
 27. ☒ Loading Areas
 28. ☒ Paving Details
 (Items 25-27)

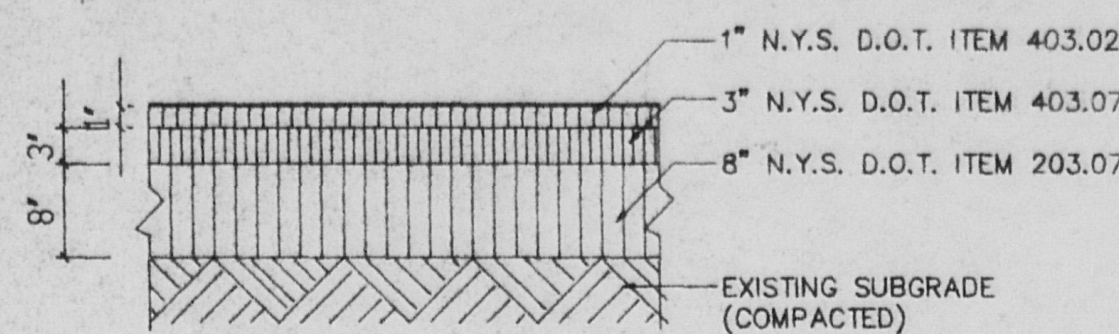
This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGEMENT:

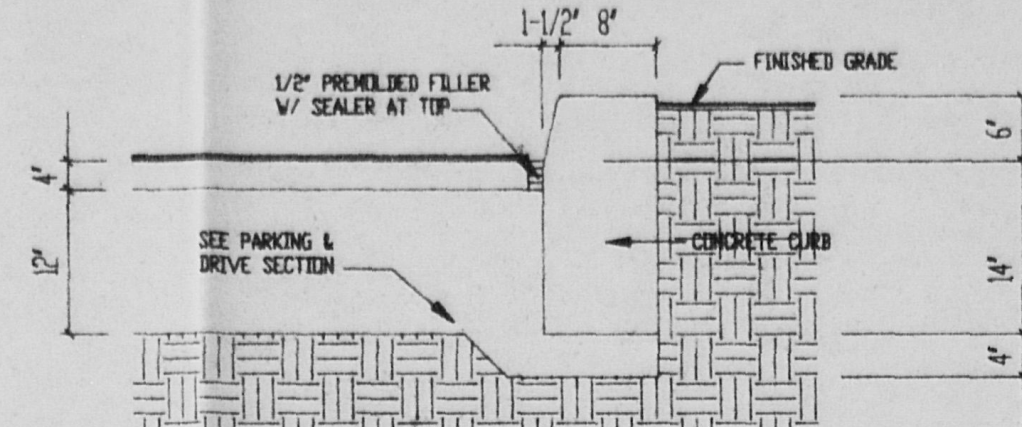
The Site Plan has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.

By: 
 Licensed Professional

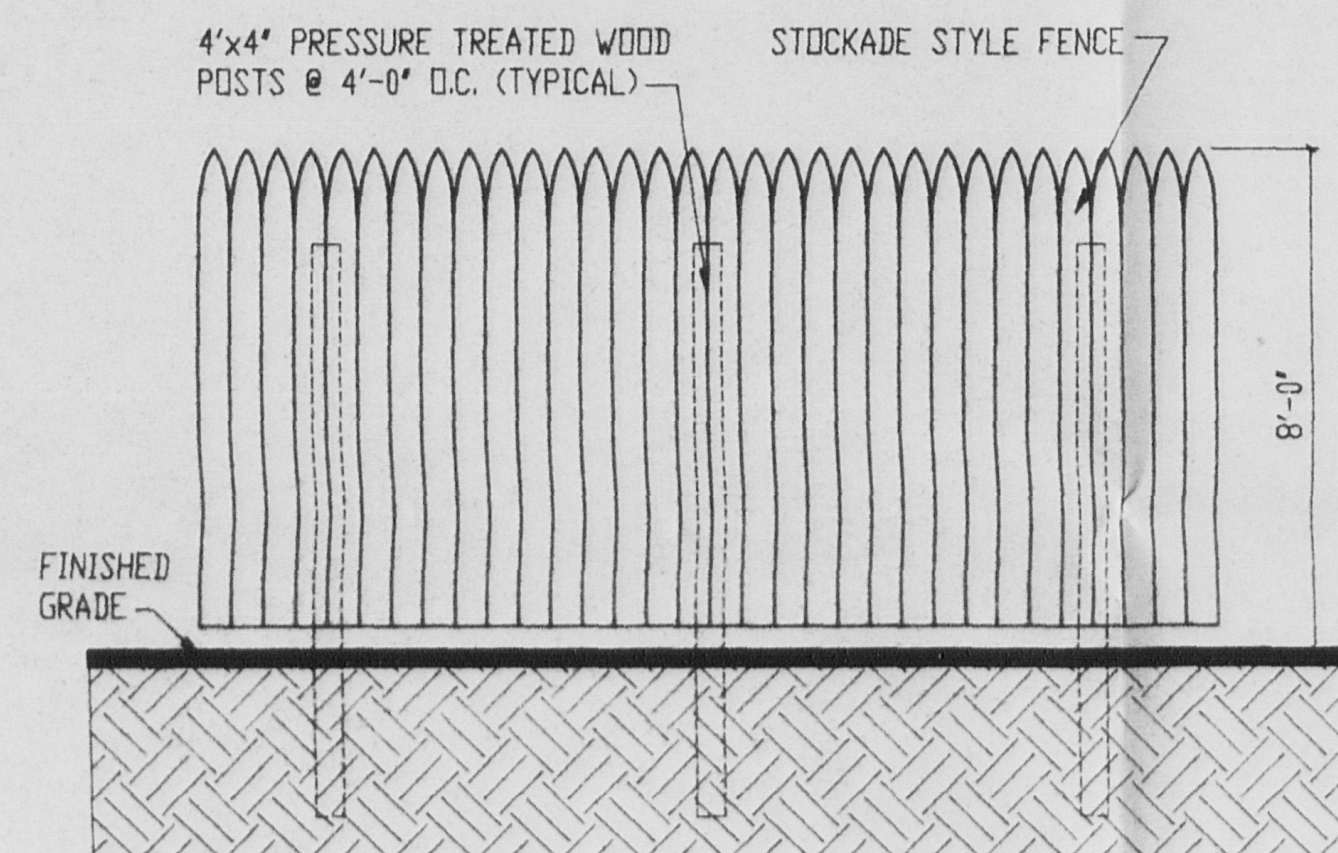
Date: 1-20-92



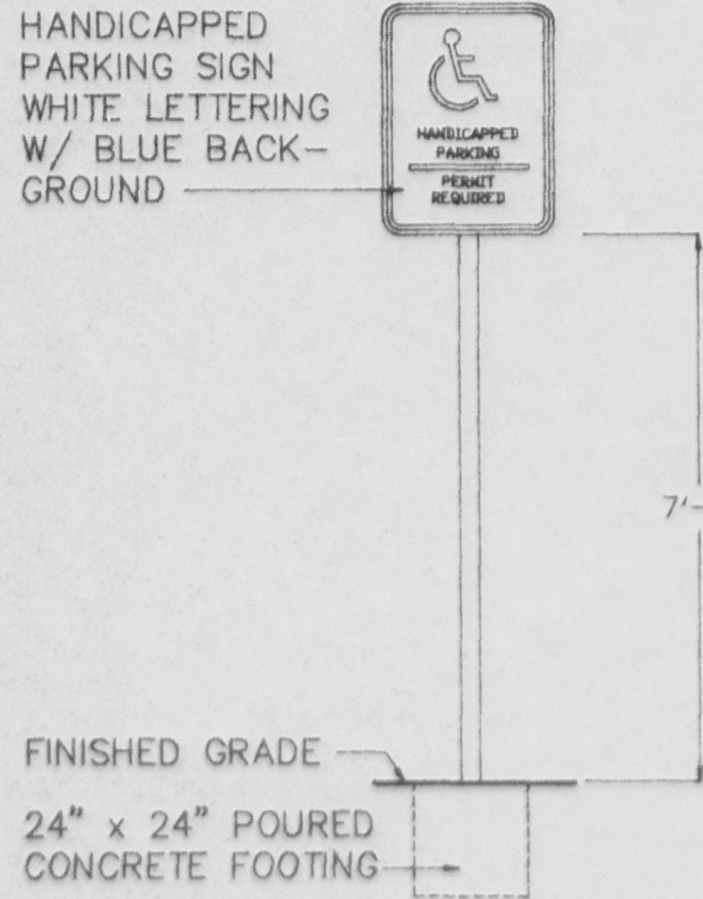
DRIVE SECTION
SCALE: 1"=1'-0"



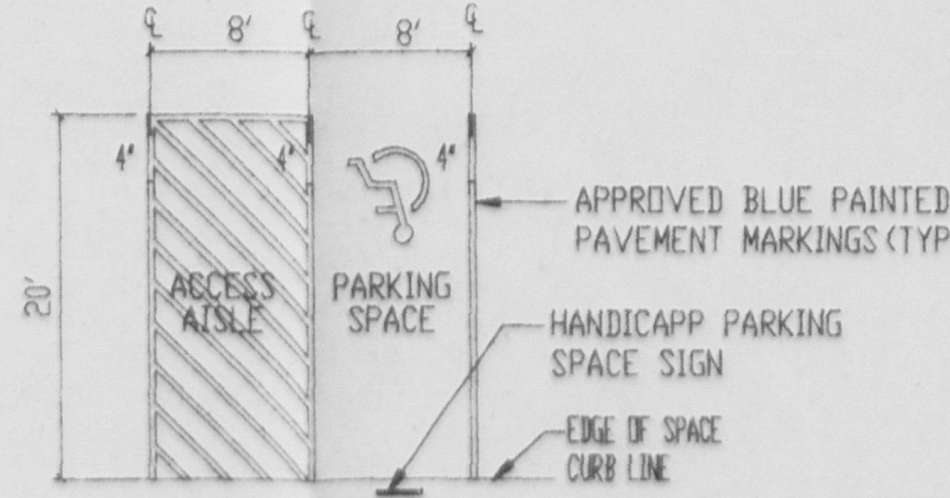
CONCRETE CURB SECTION
SCALE: 3/4"=1'-0"



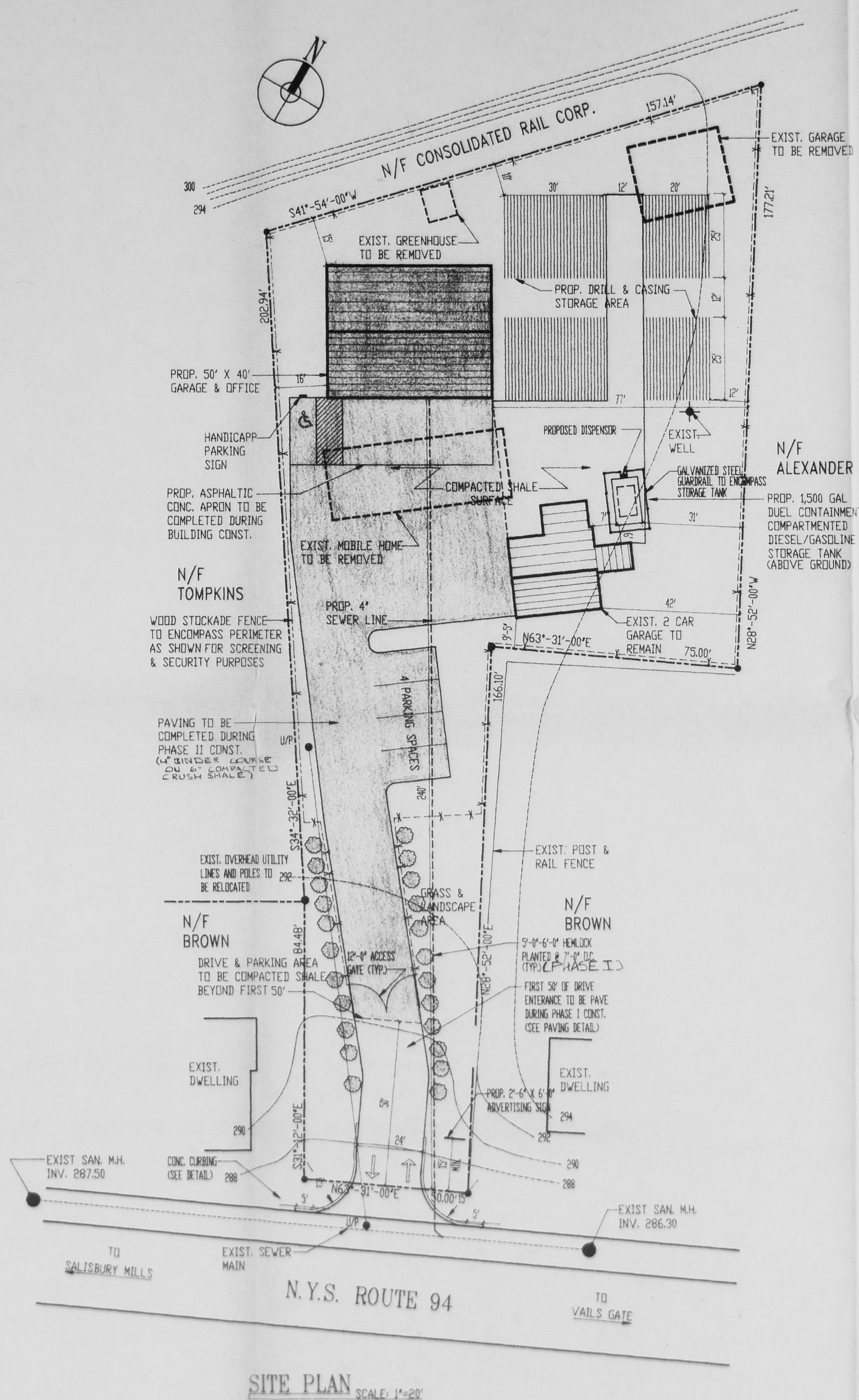
FENCE DETAIL
SCALE: N.T.S.



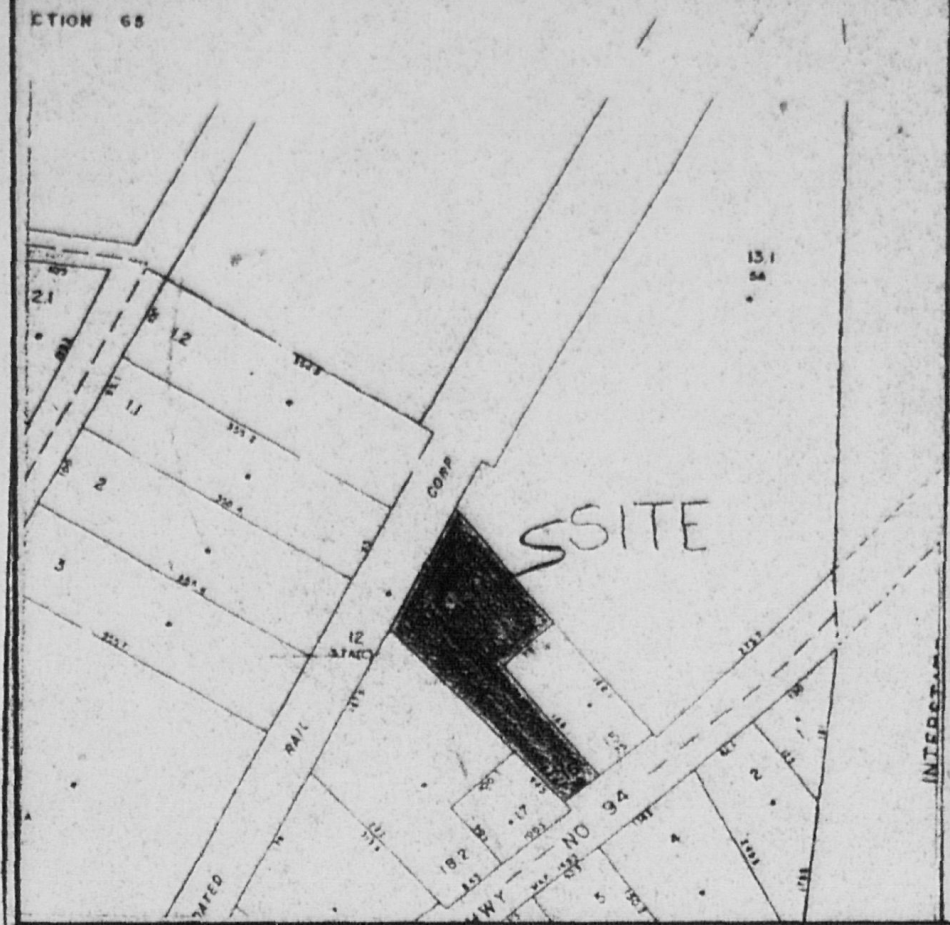
HANDICAP SIGN DETAIL
NO SCALE



HANDICAPPED SPACE DETAIL
SCALE: 1"=10'



SITE PLAN SCALE: 1"=20'



LOCATION MAP

ZONING REQUIREMENTS

ITEM	REQUIRED	PROPOSED	ZBA
LOT AREA	10,000 S.F.	30,344 S.F.	
LOT WIDTH	100'	141' NOTE 1	
FRONT YARD	40'	225'	
SIDE YARD	15'	16'	
BOTH SIDES	35'	93'	
REAR YARD	15'	15'	
FRONTAGE	N/A	N/A	
MAX. BLDG. HGT.	35'	35'	
FLOOR AREA RATIO	10%	9.64%	
DEV. COVERAGE	N/A	N/A	

NOTE #1:
LOT WIDTH MEASURED ACROSS FRONT OF PROPOSED BUILDING

PARKING REQUIREMENTS

BASED ON ITEM WAREHOUSE:
1 PARKING SPACE FOR EACH 1,000 SQ.FT. BUILDING FLOOR AREA.
2,000 SQ.FT. BLDG. / 1,000 = 2 PARKING SPACES REQUIRED
TOTAL 5 PARKING SPACES PROVIDED INCLUDING ONE HANDICAPP

GENERAL INFORMATION

- PROPOSED 1,500 GALLON BULK PETROLEUM STORAGE TANK WILL BE INSTALLED AND REGISTERED IN ACCORDANCE WITH 6NYCRR PART 614.
- APPLICANT: HUDSON VALLEY DRILLING INC. 2213 ROUTE 94 SALISBURY MILLS N.Y. 12577-5207 (MR. MICHAEL FREY, PRESIDENT)
- SURVEY INFORMATION PROVIDED BY: WASHBURN ASSOCIATES 44-52 ROUTE 9W NEW WINDSOR, N.Y. 12553
- TAX MAP NUMBER: SECTION: 67 BLOCK: 4 LOT: 16
- WORK TO BE COMPLETED DURING PHASE I: INSTALL REQD PAVING AND CURBING, INSTALL STOCKADE SECURITY & SCREENING FENCE, REMOVE EXIST. STRUCTURES AS NOTED, INSTALL BULK PETROLEUM STORAGE TANK.
- PHASE II CONSTRUCTION WILL CONSIST OF: CONSTRUCTION OF A 40' X 50' GARAGE & OFFICE, CONST. OF PARKING AREAS AS SHOWN WITH A 20' WIDE ASPHALTIC CONC. APRON IN THE FRONT OF THE BLDG. TO INCLUDE PAVING OF THE HANDICAPP PARKING SPACE. LANDSCAPE AREA BETWEEN N.Y.S. ROUTE 94 AND PROPOSED STOCKADE FENCE.

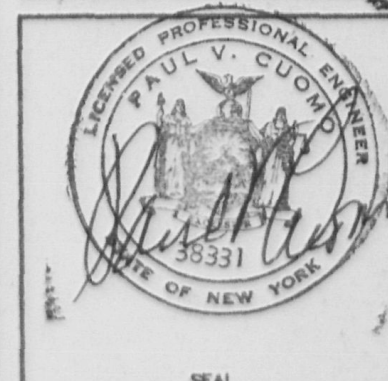
SITE PLAN
APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
MAY 17 1993
BY: CARMEN R. DUBALDI, JR.
SECRETARY

NOTE:
THIS PLAN IS COPYRIGHTED
UNAUTHORIZED ALTERATION
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NEW YORK STATE EDUCATION
LAW.

DATE	ISSUANCE	BY

DATE: 12-24-92
DRAWN BY: N.P.S.
CHECKED BY: P.V.C.
SCALE: AS SHOWN
PROJECT NO.: 92354

CUOMO ENGINEERING
STEWART INTERNATIONAL AIRPORT, NEW WINDSOR, N.Y. 12553 (914) 567-0063
HUDSON VALLEY DRILLING INC.



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SP-1

